



City of Cody Building Guides Reference Document

How to Use this Adobe .PDF Document:

- Please Click on the Bookmark Tab (far left hand side of your screen).
- In the Bookmark directory, please click on the document you wish to view or print.
- Please note on the first page of each application there is a yellow note on the right hand side of the screen. If you move your mouse cursor to the yellow note you will see how many and what pages to print for each specific application.

This Booklet includes the following documents:

- | | |
|--|-------------|
| 1. Building Guide for Site Plan Development | Pages 2-3 |
| 2. Building Guide for Single Family Residential Addition | Pages 4-10 |
| 3. Building Guide for Detached Garages | Pages 11-18 |
| 4. Building Permit Application | Pages 19-20 |

For Additional Information regarding these guides or projects you may be planning, please contact the City of Cody Building Department Office at: 307-527-7511.

If you would like to receive these guides in WORD format, please contact the number listed above or use the e-mail addresses provided on the bottom of the Engineering Page of this website:

<http://www.cityofcody-wy.gov/PubWorks/Engineering.cfm>



BUILDING GUIDE FOR Site Plan

Instructions:

A Site Plan is used by the Building Inspection Department to determine if your project meets requirements of the Building Codes, Local Ordinances and/or other laws or regulations.

The City of Cody Building Official requests that a Site Plan be submitted with any building permit application when additional floor area is proposed.

Following is a listing of items that are required to be included on your Site Plan.

This same listing is also on the Building Permit Application.

If you have any questions, please contact the City of Cody Building Inspection Department at 1338 Rumsey Avenue (City Hall) or call 527-7511.

Site Plan:

- ✓ Show entire lot drawn to scale. Minimum scale is 1"=20' or 1/16" = 1'-0"
- ✓ Provide a legal description of the property.
- ✓ Address (The Building Official can assign one if one has not already been assigned.)
- ✓ Property lines including lot dimensions.
- ✓ North arrow and directions.
- ✓ Location and names of adjacent streets and alleys.
- ✓ Building setback dimensions.
- ✓ Location and dimensions of all driveways and approaches.
- ✓ Location of all steps, terraces, porches, fences, and retaining walls.
- ✓ Location and dimensions of easements.
- ✓ Size, location, and material of all water and sewer lines.
- ✓ Location and size of water meters.
- ✓ Location of gas line and gas meter (if applicable).
- ✓ Location of electric service lines. Indicate if they are overhead or underground.
- ✓ Off-street parking.
- ✓ Unique topographical features, if any.

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BUILDING GUIDE FOR Site Plan

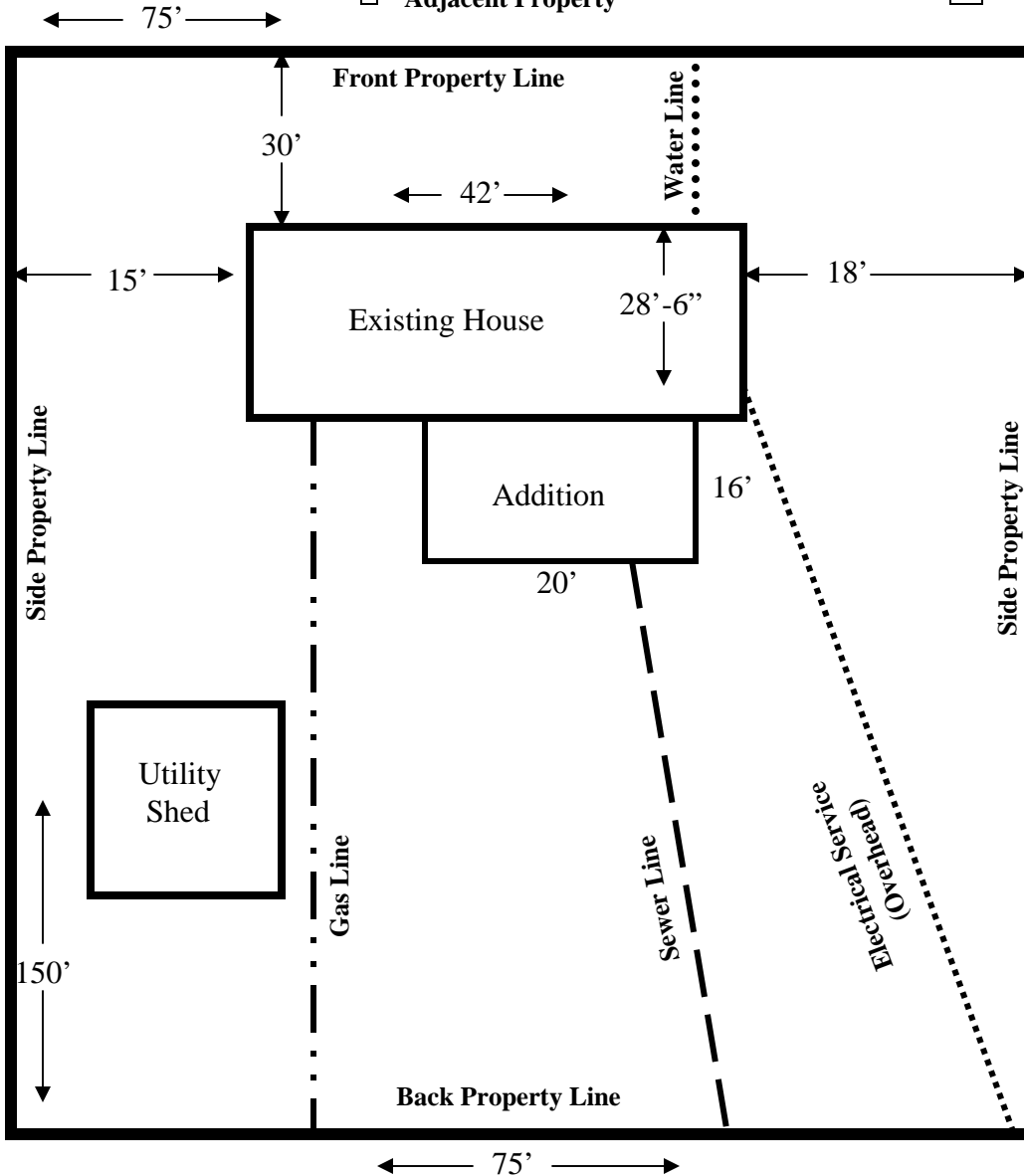


Indicate North

- ☒ Street (Name) Main Street
☐ Alley
☐ Adjacent Property

- ☐ Corner Lot
☒ Interior Lot

- ☐ Street (Name) _____
☐ Alley
☒ Adjacent Property



- ☐ Street (Name) _____
☐ Alley
☒ Adjacent Property

- ☐ Street (Name) _____
☒ Alley
☐ Adjacent Property

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Example Site Plan



HOME IMPROVEMENT BUILDING GUIDE

Single Family Residential Addition

Directory of Available Guides & Informational Packets

Site Plan (Plot Plan)

Addition: Single Family Residential:

Garage – Detached

Future Guides

Are Permits Required?

Basement Finishing:

Carports:

Communicating with your Neighbors

Decks and Porches – Covered

Decks and Porches - Uncovered

Demolition of Structures in Cody

Fences

Garage – Attached

No Permit Required Projects

Patio covers (see Carports above):

Single Family Dwelling

Site Plat (Plot Plan)

Special Districts

The “Handyman” projects:

Tips for a Home Renovation

Tips for a Successful Project

The attached guide explains the building permit requirements and building specifications for building a Single Family Residential Addition in Cody.

You will need copies of the Single Family Residential Addition guide, Site Plan guide, and a Building Permit Application.

You can pick up copies from the Building Inspection Department at 1338 Rumsey Avenue (City Hall).

You can obtain additional information or assistance by calling the Building Inspection Department at 527-7511.

Following the steps listed in these guides will help with issuing a building permit in a timely manner. The more complete the permit application the quicker it goes.

3/3/05



BUILDING GUIDE FOR **Single Family Residential Addition**

This guide provides important information used to approve your building permit. It explains some of the permit requirements and building specifications for building an addition on to an existing residence. It is intended to help you through the permitting process. This guide is designed for a simple one story addition that is built over a crawl space. Additions with basements and/or second stories are more complex and require additional information and usually more detailed drawings.

Remember, this is only a guide to assist you. Space does not allow a detailed review of all the Codes, State laws, zoning requirements, and other local ordinances that may be applicable to building an addition.

Before you get too far in the planning process, you need to know if your project will meet zoning requirements. Residential districts in Cody have limitations on the use of the building, maximum height restrictions, minimum set backs and open space that must be maintained. If you have questions, please contact the Building Inspection Department at 1338 Rumsey Avenue City Hall), or call 527-7511. We would be happy to assist you.

(Per City of Cody ordinances) An owner may be granted permits to perform work on a single family dwelling with a private garage and private accessory buildings all on the same premises, provided that such work is to be performed by the owner. If the owner of the property is not performing the work, then the person performing the work must be licensed in the particular contracting category.

There are some projects where a “handyman” other than the owner can perform the work. For questions in regards to “Handyman” projects please contact the Building Inspection Department at City Hall.

There are times during the building process when certain types of inspections are mandatory. It is your responsibility to notify the Building Inspector and arrange for an Inspection time.



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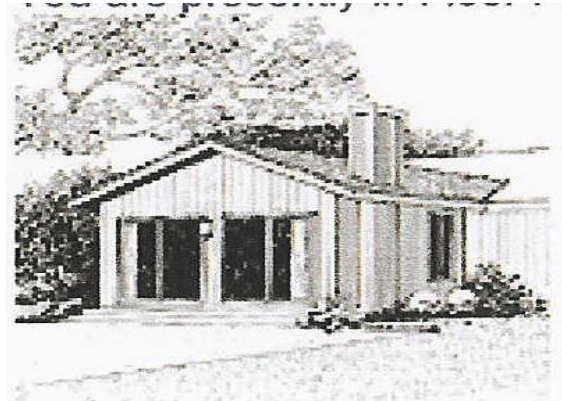


BUILDING GUIDE FOR **Single Family Residential Addition**

How to use This Guide:

1. Read the general information and helpful hints provided on *page 4*.
2. Complete this Single Family Residential Addition Building Guide. Fill in the applicable blanks on *page 8*. (Mark NA in blanks not applicable). Indicate which construction detail will be used for the foundation. Example of a footing/foundation is on *page 9*. Provide Certified engineering drawings and letter if you are using an Engineered Design foundation.
3. Provide a Floor Plan. This should be drawn to scale. Usually a scale size of $\frac{1}{4}$ inch = 1 foot is adequate. A example of a Floor Plan is on *page 7*.
4. Provide a Site Plan (sometimes referred to as a Plot Plan). Information required on a Site Plan is listed in our *Site Plan* building guide.
5. Complete a Building Permit Application. Submit it with the information requested in this guide on *page 18*.

A majority of permit applications are processed with little delay. Following the steps outlined in this guide will help process your permit in a timely manner. Information submitted helps determine if the project is compliant with building codes, zoning ordinances and other applicable laws.



*The purpose of the Codes is to provide **minimum** requirements to safeguard public safety, health, and general welfare through structural strength, means of egress, stability, sanitation, also for safety of life and property from fire and other hazards.*

Before You Dig:
Call One-Call of Wyoming
at 1-800-849-2476

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BUILDING GUIDE FOR **Single Family Residential Addition**

General Information Sheet:

Floor Plan:

The Floor Plan should be drawn to scale. See *page 7* for an example of a Floor Plan. Please include applicable “NOTES” as shown on the sample Floor Plan.

Site Plan (Plot Plan):

Requirements for the Site Plan are listed in our *Site Plan* building guide. These are also listed on *page 2* (back side) of the Building Permit Application.

Electric Code:

Existing electrical service may require an upgrade or relocation. You should discuss this with your Electrical Contractor prior to starting construction.

Roof Overframe:

When constructing a new valley, use a continuous board under the bottom cut of the new rafter to provide a solid nailing surface. As a minimum, the board should have a nominal thickness of 2” and be as wide as the new rafter base.

Other General Information:

Smoke alarms are required to be hardwired and interconnected in new and existing bedrooms, halls, and a minimum of one for each level in the dwelling. Exception is if it would require removal of existing interior wall or ceiling finishes. In this case, battery operated devices are acceptable.

Additions shall not enclose existing egress windows. Egress windows or exterior exit doors shall be provided in all bedrooms.

Safety Glass is required at specific locations. A plan reviewer can identify these locations from your Floor Plan drawing.

Heat is required to be provided in all habitable rooms. Indicate on your Floor Plans how your addition will be heated.

A landing is required on both sides of the “required exit door”. Also at the top and bottom of stairways.

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BUILDING GUIDE FOR Single Family Residential Addition

Creating Your Floor Plan

Draw floor plan to scale. Most floor plans use a $\frac{1}{4}$ " scale, which means that each $\frac{1}{4}$ " on the drawing equals 1'. Show the layout of the addition, including any unfinished spaces, and label the use of all rooms.

Show the location of all smoke detectors. Code compliance in alterations and/or additions to plumbing, electrical, and mechanical systems are reviewed during the "rough" inspection. The "rough" inspection occurs after making the modifications, but before you cover the modifications, with drywall, ceiling tiles, or flooring. The inspector **must** see the modifications and approve them prior to finishing over them.

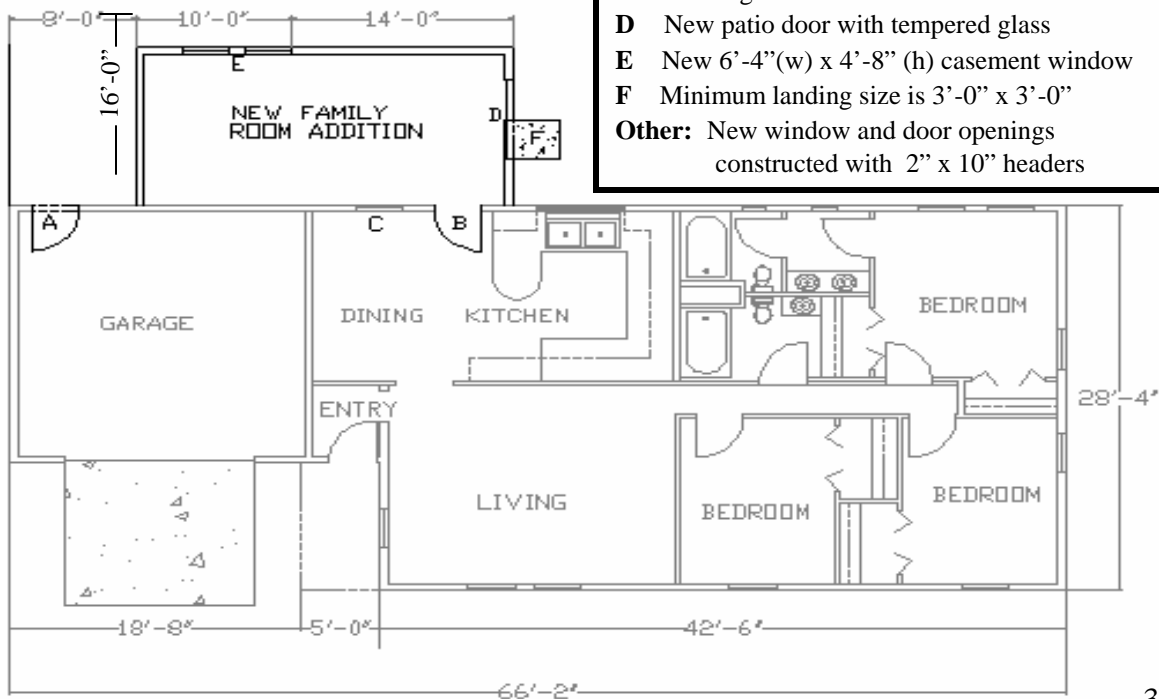
List window sizes and identify egress windows if applicable. Identify all exits in the addition. Include size of doors and show direction they open. Please note that the minimum hallway width is 3'-0".

Identify all new or altered openings in the existing structure. When creating a new opening, or increasing the width of an existing opening, or modifying other structural features such as post, beams, or floor joists, a structural engineer's or architect's stamp on the structural alteration may be required.

Sample Floor Plan Notes

- A New 3'-0" door in existing wall
 - B Existing door removed. Opening covered with drywall – both sides
 - C New 5'-0" x 4'-0" cased opening replaces existing window.
 - D New patio door with tempered glass
 - E New 6'-4"(w) x 4'-8" (h) casement window
 - F Minimum landing size is 3'-0" x 3'-0"
- Other:** New window and door openings constructed with 2" x 10" headers

SAMPLE FLOOR PLAN



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BUILDING GUIDE FOR Single Family Residential Addition

Directions

1. This guide is for simple additions built over a crawlspace. It is not to be used for additions built over a basement or additions with complex engineering.
2. Fill in the blanks with dimensions and materials which will be used to build the structure. Please print legibly.
3. Indicate in the check box if an Engineered Design or Detail A is to be used. An example of Detail A & a Fill-in-the-blanks is on page 7. For an Engineer Design you must provide a drawing and information from a licensed engineer or architect.

12"

2x _____ rafter spaced _____ "O.C. or
Manufactured trusses spaced _____ "O.C.
Example: 2x10 rafters spaced 24" O.C.

Minimum 1x _____ ridge board
Example: 1x12

Note: Attic ventilation is required; access may be required

Provide 2x blocking between rafters or trusses

Note: Pre-engineered roof trusses with truss clips may be used in lieu of roof structure shown.

Diagonal wind bracing or plywood shear panels at corners and each 25'.

Note: Pre-engineered floor systems may be used and should be installed according to manufactures installation instructions.

Crawl space insulation _____
Example: R-19

18" minimum from the interior grade level to the bottom of the floor joists

Engineered Design: Caisson may be required if your site has swelling soils. A foundation designed by a Wyoming licensed architect or engineer may be required.

Detail A

Caisson

Check One
☐ Foundation: Engineered Design
☐ Foundation: Detail A
 (See Item 3 Above)

Sheathing _____
Example: 1/2" exterior plywood

Roofing covering _____
Example: class A3 tab shingles

Underlayment _____
Example: 2 layers #15 felt

Ceiling insulation _____
Example: R-30

2x _____ ceiling joists @ _____ O.C.
Example: 2x8 @ 24" O.C.
☐ Or MFG. Trusses Bottom Cord

Wall insulation _____
Example: R-15 fiberglass batts

Double 2x _____
Example: 2x4

Span _____
Example: 23'5"

Ceiling height _____
Example: 8'

Siding _____
Example: lap or T-111

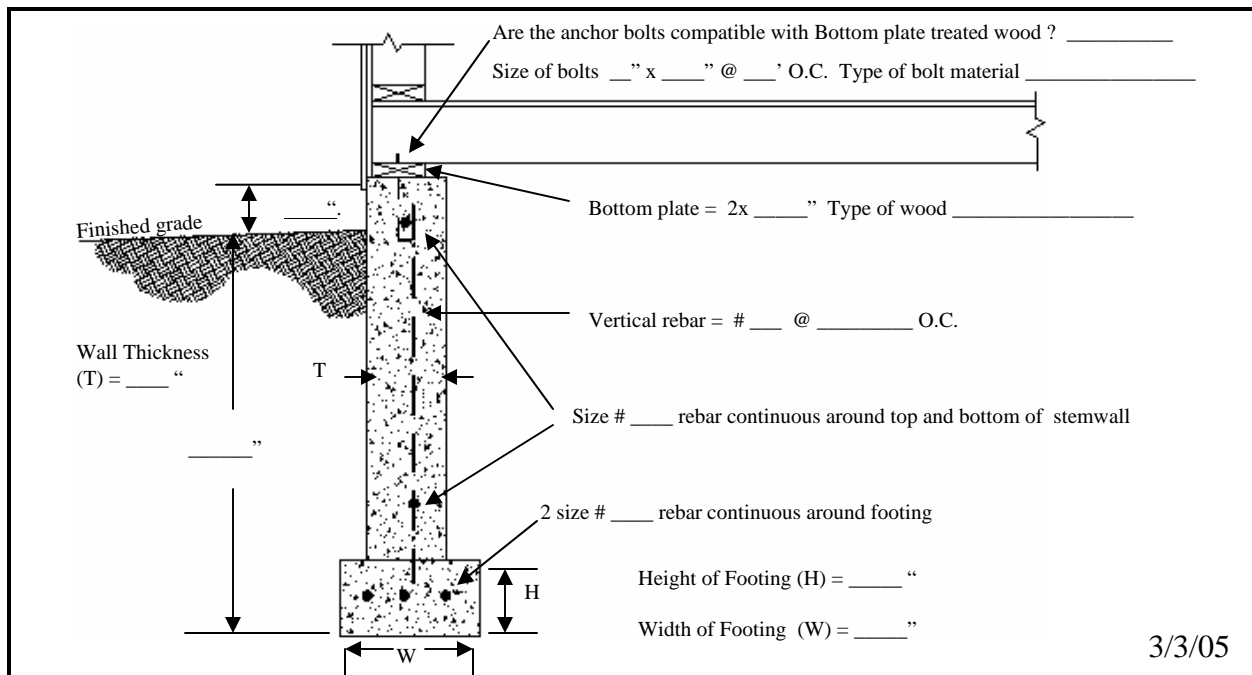
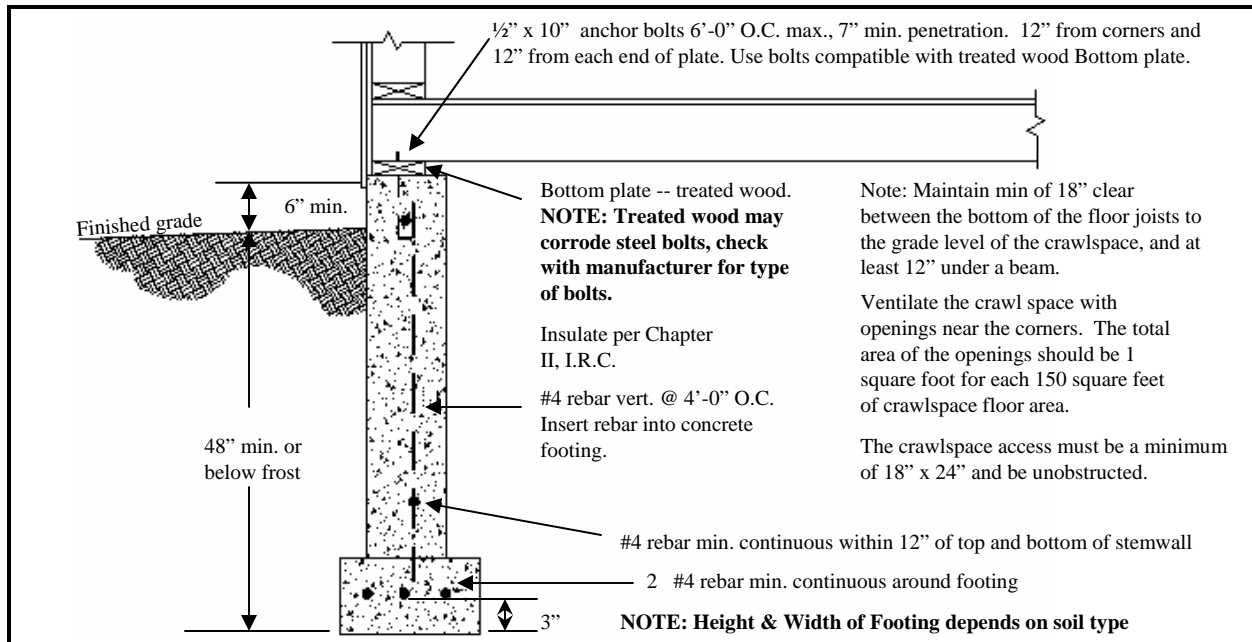
Wall sheathing _____
Example: 1/2" exterior plywood

2x _____ studs @ _____ O.C.
Example: 2x4 @ 24" O.C.

2x _____ Joists @ _____ "O.C. or
TGI Joists _____ x _____ @ _____ "O.C.
Example: 1 5/16 x 10" @ 16" O.C.

BUILDING GUIDE FOR Single Family Residential Addition

Example of Detail A – Crawspace Foundation



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CITY OF CODY
WYOMING

**Building Inspection
Department**
PO Box 2200
1338 Rumsey Ave.
Cody, Wyoming 82414

(307) 527-7511
FAX (307) 527-6532

HOME IMPROVEMENT BUILDING GUIDE

Detached Garage

Directory of Available Guides & Informational Packets

Site Plan (Plot Plan)

Addition: Single Family Residential:

Garage – Detached

Future Guides:

Are Permits Required?

Basement Finishing

Carports

Communicating with your Neighbors

Decks and Porches – Covered

Decks and Porches - Uncovered

Demolition of Structures in Cody

Fences

Garage – Attached

No Permit Required Projects

Patio covers (see *Carports above*)

Single Family Dwelling

Special Districts

The “Handyman” projects

Tips for a Home Renovation

Tips for a Successful Project

The attached guide explains the building permit requirements and building specifications for building a Detached Garage in Cody.

You will need copies of the *Garage – Detached* guide, *Site Plan* guide, and a *Building Permit Application*.

You can pick up copies from the Building Inspection Department at 1338 Rumsey Avenue (City Hall).

You can obtain additional information or assistance by calling the Building Inspection Department at 527-7511.

Following the steps listed in these guides will help with issuing a building permit in a timely manner. The more complete the permit application the quicker it goes.

4/7/05



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HOME IMPROVEMENT BUILDING GUIDE

Detached Garage

This guide provides important information used to approve your building permit. It explains some of the permit requirements and building specifications for building a Detached Garage at a Single Family Residence. It is intended to help you through the permitting process. Information pertaining to an attached garage is in our handout titled “Garage – Attached”.

Remember, this is only a guide to assist you. Space does not allow a detailed review of all the Codes, State laws, zoning requirements, and other local ordinances that may be applicable to building an addition.

Before you get too far in the planning process, you need to know if your project will meet zoning requirements. Residential zoning districts in Cody have limitations on the use of the building, maximum height restrictions, minimum set backs and open space that must be maintained. If you have questions, please contact the Building Inspection Department at 1338 Rumsey Avenue City Hall), or call 527-7511. We would be happy to assist you.

(Per City of Cody ordinances) An owner may be granted permits to perform work on a single family dwelling with a private garage and private accessory buildings all on the same premises, provided that such work is to be performed by the owner. If the owner of the property is not performing the work, then the person performing the work must be licensed in the particular contracting category.

There are some projects where a “handyman” other than the owner can perform the work. For questions in regards to “Handyman” projects please contact the Building Inspection Department at City Hall.

There are times during the building process when certain types of inspections are mandatory. It is your responsibility to notify the Building Inspector and arrange for an Inspection time.



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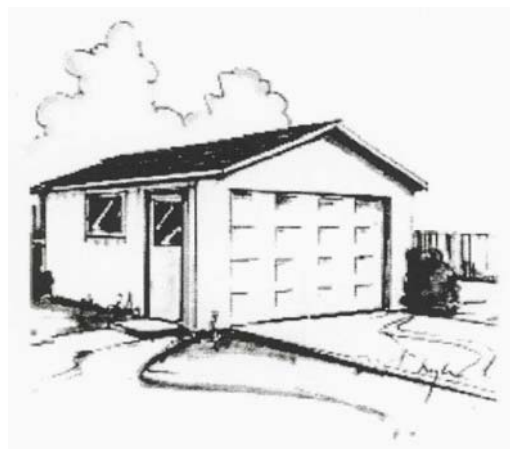
HOME IMPROVEMENT BUILDING GUIDE

Detached Garage

How to use This Guide:

1. Read the general information and helpful hints provided on *page 13*.
2. Complete this Detached Garage Building Guide. Fill in the applicable blanks on *pages 14, 15, 16, 17* (Mark NA in blanks not applicable). Indicate which construction detail will be used for the foundation on *page 15*. An examples of footing/ foundations are on *pages 16 and 17*.
3. Provide a Floor Plan Sketch. A Detached Garage Floor Plan does not have to be drawn to scale. A example of a Floor Plan Sketch is on *page 14*.
4. Provide a Site Plan (sometimes referred to as a Plot Plan). Information required for a Site Plan is listed in our *Site Plan* building guide.
5. Complete a Building Permit Application. Submit it with the information requested in this guide.

A majority of permit applications are processed with little delay. Following the steps outlined in this guide will help process your permit in a timely manner. Information submitted helps determine if the project is compliant with building codes, zoning ordinances and other applicable laws.



*The purpose of the Codes is to provide **minimum** requirements to safeguard public safety, health, and general welfare through structural strength, means of egress, stability, sanitation, also for safety of life and property from fire and other hazards.*

Before You Dig:
Call One-Call of Wyoming
at 1-800-849-2476

4/7/05



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Department**
PO Box 2200
1338 Runsey Ave.
Cody, Wyoming 82414

(307) 527-7511
FAX (307) 527-6532

HOME IMPROVEMENT BUILDING GUIDE

Detached Garage

General Information Sheet:

Floor Plan Sketch:

The Floor Plan Sketch does not have to be drawn to scale. See *page 14* for an example of a Floor Plan Sketch. Please include applicable “NOTES” as shown on the sample Floor Plan Sketch.

Site Plan (Plot Plan):

Requirements for the Site Plan are listed in our *Site Plan* building guide. They are also listed on page 2 (back side) of the Building Permit Application.

Electric Code:

Existing electrical service may require an upgrade or relocation. You should discuss this with your Electrical Contractor prior to starting construction.

Heat Sources – A word of caution:

A requirement of the International Fire Code is that all heat sources and/or possible sources of ignition **MUST** be located a minimum of 18” above the floor. Some examples would be electric heaters, gas heaters, and electric motors for refrigerators or freezers. This is a requirement of the International Fire Code

This is a safety requirement to help prevent the ignition of gasoline fumes from a spill or That may be leaking from a vehicle.

Before You Dig:

Call *One-Call of Wyoming* at 1-800-849-2476 **BEFORE** you start to dig. Wyoming State law requires you to contact the one-call provider to request the location of Underground facilities in the area you plan to excavate. Under the Wyoming Underground Facilities Notification Act, if you do not call and you damage any underground utilities, you would “...be liable for all damages, including personal injury and property damages, caused by the excavation. You could also be fined up to \$5,000.” **THINK ABOUT IT:** – the phone call is free, the utility locates are free, and the life you save may be yours.

4/7/05



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**CITY OF CODY
WYOMING**

HOME IMPROVEMENT BUILDING GUIDE

Detached Garage

Detached Garage Floor Plan Sketch:

A detached garage floor plan sketch does not have to be drawn to scale. Be sure to include measurements to other buildings on the property and distances to property lines on your Site Plan.

Code compliance for plumbing, electrical, and mechanical systems are reviewed during the “rough” inspection. The “rough” inspection occurs after structural work is Completed and just before you cover it with drywall or other coverings. The Building Inspector **MUST** see the structural details and approve them prior to finishing over them.

Overall Width: _____

4" minimum concrete slab floor

slope

Include location & size of any windows or doors

Header Size:
() x
Example: (2) 2 x 10

Required: Double 2x4 or 2x6 trimmers at each end of overhead door header.

Double Trimmer Size
2x "

Garage Door Opening

Garage Door Opening Width: _____

Overall Length: _____

4/7/05



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**CITY OF CODY
WYOMING**

HOME IMPROVEMENT BUILDING GUIDE

Detached Garage

Pitch is the slope of the roof.
Measured as inches of vertical
rise per 12" horizontal run.

____ : 12

2 x ____ rafters @ ____" O.C.*
EXAMPLE: 2 x 10 @ 24" O.C.

Minimum 1" x ____ ridge board*
EXAMPLE 1" x 12"

* NOTE

Please indicate if engineered trusses or rafters
are going to be used.

____ Rafter system
____ Truss system

2 x ____ ceiling joists @ ____ O.C.*
EXAMPLE : 2 x 8 @ 24" O.C.

Provide solid 2x
blocking between
rafters or trusses

Roof Covering: ____
EXAMPLE : Class A 3 tab shingles

Underlayment ____
EXAMPLE : 2 layers 15# felt

Sheathing ____
EXAMPLE : 1/2" exterior plywood

Span ____
EXAMPLE : 23' 5"

Ceiling height ____
EXAMPLE : 8'

Double 2 x ____ top plate
EXAMPLE : 2 x 4

2 x ____ studs @ ____ O.C.
EXAMPLE : 2 x 4 @ 24" OC

Wall sheathing ____
EXAMPLE : 1/2" exterior OSB

Siding ____
EXAMPLE : lap or T-111

Check One

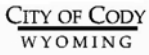
- ☐ Foundation Detail A (See page 7)
☐ Foundation Detail B (See page 8)

Diagonal wind bracing or
plywood shear panels
required at corners and
each 25' of wall

NOTE: Foundation "Detail A" will work for most
garages less than 900 sq. ft.

Consult with the Building Official for foundation
requirements for garages greater than 900 sq. ft.

6/28/05



(307) 527-7511
FAX (307) 527-6532

Detached Garage



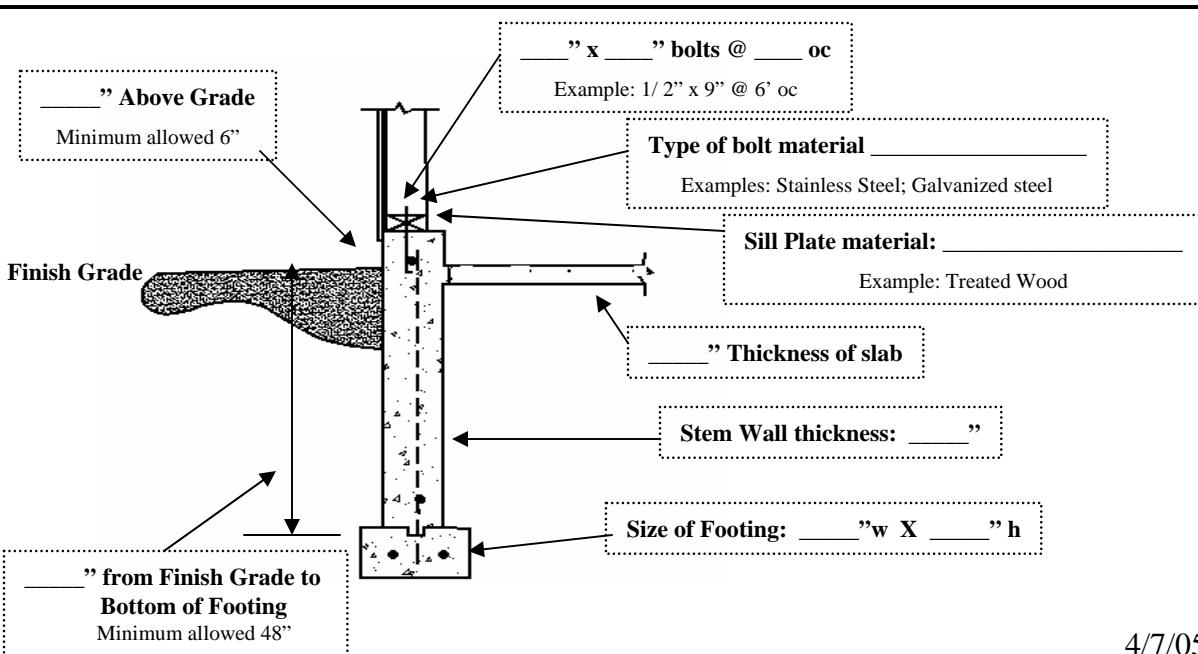
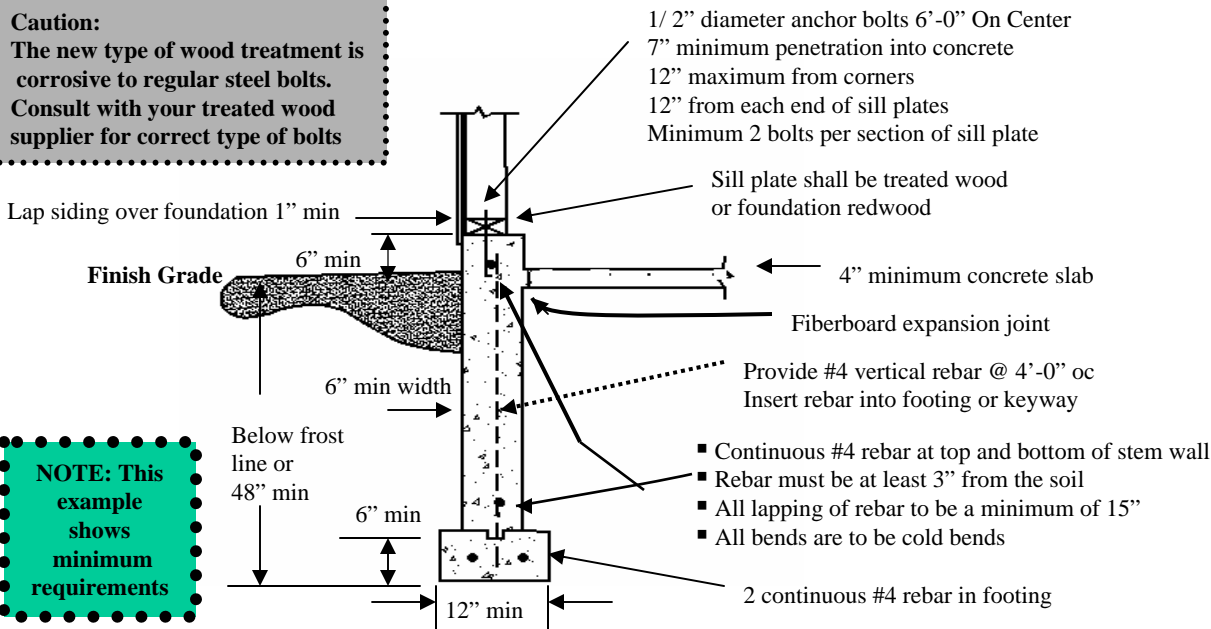
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HOME IMPROVEMENT BUILDING GUIDE

Detached Garage

Example Detail B – Stem Wall Foundation

Caution:
The new type of wood treatment is
corrosive to regular steel bolts.
Consult with your treated wood
supplier for correct type of bolts



4/7/05



BUILDING PERMIT APPLICATION

BUILDING PERMIT WILL NOT BE WILL NOT BE ISSUED UNTIL ALL REQUIRED ITEMS HAVE BEEN APPROVED.
CONSTRUCTION SHALL NOT BEGIN UNTIL PERMIT HAS BEEN ISSUED.
COMMENCING OF CONSTRUCTION WITHOUT A PERMIT WILL BE CAUSE TO IMPLEMENT INVESTIGATION FEES.
WORK COMPLETED SHALL MEET CODES AND MAY BE SUBJECT TO REMOVAL.

Applicant to complete numbered spaces only:

JOB ADDRESS:				
1	LEGAL DESC.	LOT NO:	BLK:	SUBDIVISION
2	OWNER:		ADDRESS:	PHONE:
3	CONTRACTOR:		ADDRESS:	PHONE:
4	ARCHITECT OR DESIGNER:		ADDRESS:	PHONE:
5	ENGINEER:		ADDRESS:	PHONE:
6	LENDER:		ADDRESS:	PHONE:
7	USE OF BUILDING:			
8	CLASS OF WORK: <input type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION <input type="checkbox"/> REPAIR <input type="checkbox"/> MOVE <input type="checkbox"/> REMOVE <input type="checkbox"/> FENCE <input type="checkbox"/> SIGN			
9	DESCRIBE WORK:			
10	CHANGE OF USE FROM:			
CHANGE OF USE TO:				
11	VALUATION INCLUDING MECH. & ELEC. \$ _____		PLAN CHECK FEE: _____	PERMIT FEE: _____ TOTAL: _____
12	NOTICE! SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILATING OR AIR CONDITIONING. THIS PERMIT IS NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 180 DAYS, OR IF AT ANY TIME AFTER WORK IS COMMENCED. I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION. _____ SIGNATURE OF CONTRACTOR OF AUTHORIZED AGENT (DATE) _____ SIGNATURE OF OWNER IF OWNER BUILDER (DATE) SPECIAL CONDITIONS: _____ _____ _____ _____			
AVAILABILITY OF SERVICES:		WATER _____	SEWER _____	ELECTRIC _____ GARBAGE _____
PERMIT NO.: _____		SIGNATURE: _____ DATE: _____		

Minimum Standards For Plans Submitted For Review

One complete set of plans and specifications must be submitted with each application for a building permit involving any proposed construction, alteration or addition to any residential building or structure. Two complete sets of plans and specifications must be submitted with each application for a building permit involving any proposed construction, alteration or addition to any commercial building or structure. All plans shall be drawn to scale on substantial paper and shall be of sufficient clarity to indicate the location, nature of the work involved, and show in detail that it will conform to all relevant laws, ordinances, rules and regulations. All plans shall show the name, address, and phone number of the person who prepared them. **Plan size shall not exceed 24 inches by 36 inches. Plans that have been prepared in excess of the maximum size shall be submitted in half-size drawings.**

We reserve the right to allow up to one week for the review of dwelling plans and three weeks for the review of commercial plans.

When submitting plans for an addition, it is often necessary to include not only the addition, but the existing portions of the building as well. Site plans must be included with each application when additional floor area is proposed.

When required by the Building Official, plans and specifications shall be prepared by an architect or engineer registered by the State of Wyoming.

There is a list below intended to be used as a guideline only.

If you have any questions regarding the preparation of plans and specifications, please contact:

City Building Official
1338 Rumsey Ave.
P.O. Box 2200
Cody, WY 82414
(307) 527-7511

1. **Site Plan** Minimum Scale – 1" = 20' or 1/16" = 1'-0"
 - ▶ Show the entire lot drawn to scale.
 - ▶ Complete legal description of the property.
 - ▶ Address (if one has been assigned).
 - ▶ Lot dimensions.
 - ▶ North arrow and directions.
 - ▶ Location of adjacent streets and alleys.
 - ▶ Building setback dimensions.
 - ▶ Location and dimensions of all driveways and approaches.
 - ▶ Location of all steps, terraces, porches, fences, and retaining walls.
 - ▶ Location and dimensions of easements.
 - ▶ Size, location, and material of all water and sewer lines.
 - ▶ Location and size of water meters
 - ▶ Off-street parking areas.
 - ▶ Unique topographical features, if any.
2. **Floor Plans** Minimum Scale – 1/8" = 1'-0"
 - ▶ Fully dimensioned floor plan of each floor and basement, including all attached porches, garages, carports, etc., including room dimensions and approximate area of each room in square feet.
 - ▶ Foundation plan.
 - ▶ Direction, size, and spacing of all floor and ceiling framing members, girders, columns, and piers.
 - ▶ Location of all permanent partitions. Show the location and size of doors and windows and the directions of swing.
 - ▶ Location and size of all permanently installed equipment such as kitchen cabinets, closets, plumbing fixtures, water heaters, etc.
 - ▶ Location of all electrical fixtures such as switches, outlets, disconnects, and smoke detectors.
3. **Elevations** Minimum Scale – 1/4" = 1'-0" (except the main elevations which contain no details. Minimum scale – 1/8" = 1'-0")
 - ▶ Front rear and side elevations
 - ▶ Location and size of all windows and doors. Indicate the size unless separately scheduled or shown on the floor plan. Note windows approved for emergency escape.
 - ▶ Finished grade lines at buildings.
4. **Details** Minimum Scale – 3/8" = 1'-0"
 - ▶ Section through exterior wall showing all details of construction from footings to highest point of the room. Where there is more than one type of wall, show each type.
 - ▶ Section through any portion of the building where rooms are situated at various levels of where finished attic space is proposed. (1/4" = 1'-0" scale may be used.)
 - ▶ Section through stair wells, landing and stairs, including headroom clearances and surrounding framing.
 - ▶ Sections and details of all critical construction points or special structural items.
 - ▶ Details of any fire-resistive construction.